


Windsor Bridge Options Analysis		
Inventory Number: 061		
Item	Listings	
Macquarie Arms Inn (Mulgrave Place)	Register of the National Estate	
Location	NSW State Heritage Register	5045022
104-106 Bathurst Street, Pitt Town, NSW 2756	National Trust	9067
Lot 2 DP 515997	Hawkesbury LEP 1989	282
	Other	
Description	Present Use	
Mulgrave Place is an important Colonial group set on the ridge of Pitt Town overlooking Pitt Town Bottoms. The group comprises three buildings; the main house, a kitchen block and barn. The barn	Private Residence	
	Potential Significance (if unlisted)	
	State	Local None

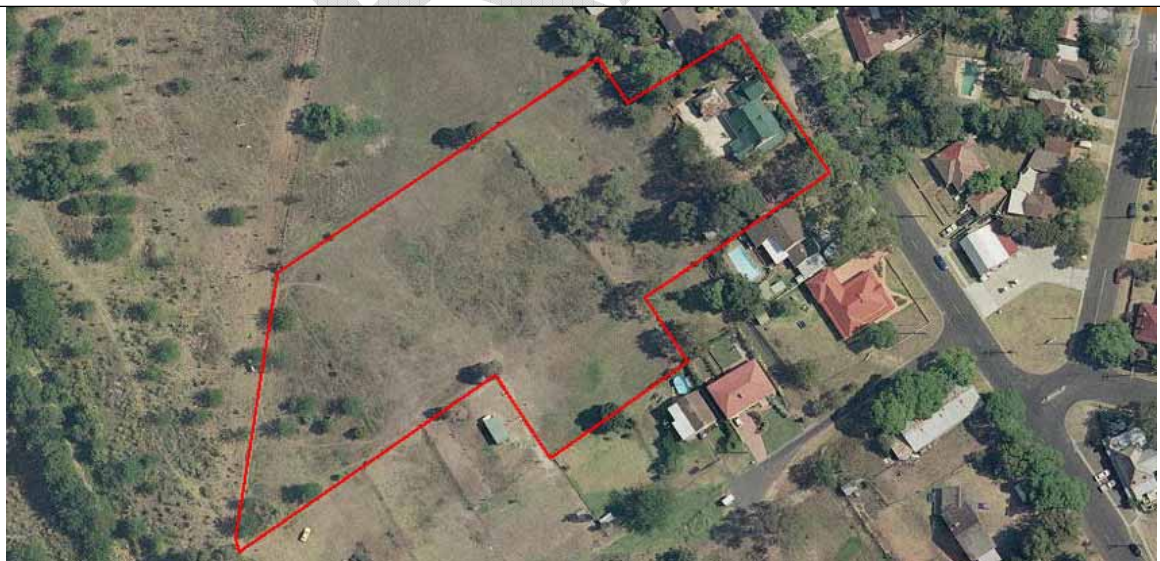
<p>is close to the north corner of the site, the kitchen block immediately to the southwest and the main house runs parallel to the Bathurst Street (northeast) boundary. There are three separate wells on the site.</p> <p>The garden has a number of mature trees including a substantial peppercorn northeast of the barn/stables.</p> <p>A more recent garage is located close to the southeast boundary, behind the line of the main house.</p> <p>The main house of Mulgrave Place is a substantial one and a half storey house with a jerkin head roof and verandah on the front (northeast) and southeast sides. It has a short rear wing at the south end of the southwest elevation. A verandah runs across the remainder of the rear elevation. A chimney is centred on the southeast wall. The house has rendered walls, coursed in ashlar and the roof is corrugated steel. A six panel front door is flanked by 6 over 6 pane double hung windows with 2 panelled shutters. 4 over 4 pane double hung windows in the end walls light the upper floor. A dormer provides additional light. The verandah is an extension of the main roof on the northeastern front, returning around the southeast side. It is supported on stop chamfered posts. Typical of colonial verandahs, it is quite low, reflecting the low ceilings inside the house. At the northern end of the house is a late nineteenth century wing constructed of English bond brickwork. It has a gabled front facing the street with a large bank of 2 pane casement windows. The gable is faced with pressed metal, in imitation of roughcast render. 2 over 2 pane double hung windows are in the northwest wall, and a brick chimney with a moulded corbel is also in this wall.</p> <p>The kitchen block is set back behind the line of the main house. It is a smaller hipped roof building with virtually no eaves. A verandah is on the southeastern side and, like the verandah of the main house, is an extension of the main roof. The roof of the kitchen</p>	<p>Integrity</p> <p>House - High Kitchen Block - Medium Barn/Stables: Low</p>	
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<p>Impact of Proposed Works</p> <p>No identified impacts</p>	<p>Statement of Significance (State)</p> <p>Mulgrave Place is of high historical significance as the earliest surviving inns in Pitt Town. First licensed in 1816, it operated as the Brighton Arms or Fleming's Public House until 1819, reopening as the Macquarie Arms from around 1830.</p> <p>It has strong associations with Henry Fleming, a third fleet convict and an early settler in the town who built the complex and operated an inn from the site from 1816 until 1819. It is also associated with his brother in law William Johnston who operated the inn from around 1830 and whose family retained the property until the 1920s.</p> <p>Mulgrave Place is of high aesthetic significance as one of the earliest surviving building complexes in Australia. The group comprises the main house, kitchen block and the barn/stables building. Each of these buildings can be considered to be of individual importance as surviving and substantially intact colonial buildings; as a group, their significance is substantial.</p> <p>The main building is an important substantial jerkin head roofed building with much of its original joinery and fabric intact.</p> <p>The barn/stables is a unique structure with its brick veneered slab walls, and jerkin head roof. The combination of barn, stables and coach house and possible early use as an inn is an interesting juxtaposition of functions.</p> <p>The siting of the house at the edge of the ridge overlooking Pitt Town Bottoms is also of importance, taking advantage of the views to the Blue Mountains and reinforcing the relationship between the township and the lower farming land.</p> <p>Some of the early plantings on the site are important in adding to the setting of the building.</p> <p>As an early and intact colonial group on a site which appears to be relatively undisturbed, Mulgrave Place undoubtedly has high archaeological potential.</p>
<p>Reference</p> <p>Hubert Architects, Heritage Futures and Terry Kass in Association, 'Hawkesbury Heritage Review', 2001</p>	<p>Requirements</p> <p>S60 - Visual impacts</p>

Photographs and Plans



No. 104 Bathurst St, Pitt Town. View is to southwest.



No. 104 Bathurst St, Pitt Town, Lot 2 DP 515997. Source: Sixviewer © [NSW Department of Lands](#)

Windsor Bridge Options Analysis		
Inventory Number: 062		
Item	Listings	
St James Anglican Church	Register of the National Estate	3126 & 3127
Location	NSW State Heritage Register	
112 Bathurst Street, Pitt Town, NSW 2756 (listed as 110 Bathurst St on LEP and RNE) Lot 1 DP 1061612	National Trust	9842
	Hawkesbury LEP 1989	283
	Other	
Description	Present Use	
<p>St James Anglican Church is a small rural Victorian Gothic Church set in spacious grounds overlooking the flood plains of Pitt Town Bottoms. The site is opposite Scots Uniting Church, a building of the same period and style. The building is gabled with a steeply pitched asbestos shingled roof and terracotta ridging (probably replacing original shingles.) The walls are of sparrow pecked sandstone. The church is set on an east-west axis with a porch on the southern side and a vestry on the northern side. The chancel is slightly set in from the main body of the church. Each bay of the church has pairs of narrow pointed arched windows. The east walls has a set of three pointed arch windows.</p> <p>On the east side of the church is a gravesite surrounded by a low iron fence.</p> <p>Mature ficus and quercus trees are located near the church, enhancing the image of a rural church in pleasant grounds.</p>	Church, Church Hall and Burial Place	
	Potential Significance (if unlisted)	
	State	Local None

<p>The gateway is a memorial to Clifford John Nash and includes a columbarium on its rear face.</p> <p>Behind the church is a short obelisk marking the level of the 1867 flood.</p> <p>Memorials on the street boundary of the site include a small brick cairn built from bricks made at the local brickworks at 53 Cattai Road</p>	Integrity	High
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<p>Impact of Proposed Works</p> <p>No identified impacts</p>	<p>Statement of Significance (Local)</p> <p>St James Anglican Church is of historical significance as the oldest extant church in Pitt Town, a building which has served the local Anglican community since 1858.</p> <p>St James Anglican Church is an important example of a rural Victorian Gothic church building. The setting of the church overlooking the flood plains of Pitt Town Bottoms enhances the overall rural character of the site and underlines the importance of the church to the nineteenth century community, ensuring it could be seen from the lower farming areas.</p> <p>With the nearby Scots Uniting Church, St James Anglican Church contributes to a small civic node in the town.</p> <p>Like all churches, St James Anglican Church is of social importance as a focal point of Anglican worship since 1862.</p> <p>The gravesite and monuments inside the church provide information about former residents of the town. The flood marker at the rear of the site is an important and tangible record of the impact of flooding in the area.</p>
<p>Reference</p> <p>Hubert Architects, Heritage Futures and Terry Kass in Association, 'Hawkesbury Heritage Review', 2001</p>	<p>Requirements</p> <p>None</p>

Photographs and Plans



No. 112 Bathurst St, Pitt Town. View is to south.



No. 112 Bathurst St, Pitt Town, Lot 1, DP 1061612. Source: Sixviewer © [NSW Department of Lands](#)

Windsor Bridge Options Analysis		
Inventory Number: 063		
Item House	Listings	
	Register of the National Estate	
Location 120 Bathurst Street, Pitt Town, NSW 2756 Lot 1 DP 986157	NSW State Heritage Register	
	National Trust	
	Hawkesbury LEP 1989	
	Other	
Description Two-storey weatherboard dwelling with a hipped roof sheeted in cement tiles with flanking brick chimneys now rendered. Much altered with unsympathetic new aluminium framed windows and veranda. Rear skillion service wing. The scale of the building and its symmetrical front suggests mid-nineteenth century origins. The building appears more a town house than a rural residence.	Present Use	
	Residence	
	Potential Significance (if unlisted)	
	State	Local <input checked="" type="checkbox"/>
	Integrity	Fair
Impact of Proposed Works No identified impacts	Statement Significance (Local) Potentially an early two-storey dwelling sited on the southern entry to the town that despite unsympathetic alterations contributes to establishing the nineteenth century character of the village.	
Reference -	Requirements None	

Photographs and Plans



No. 120 Bathurst St, Pitt Town. View is to northwest.



No. 120 Bathurst St, Pitt Town, Lot 1, DP 986157. Source: Sixviewer © NSW Department of Lands

Windsor Bridge Options Analysis		
Inventory Number: 064		
Item	Listings	
Myrtle Cottage and slab barn	Register of the National Estate	
Location	NSW State Heritage Register	
126 Bathurst Street, Pitt Town, NSW 2756	National Trust	
Lot 1 DP 999548	Hawkesbury LEP 1989	284
	Other	
Description	Present Use	
Myrtle Cottage is located close to the eastern boundary of the site, facing Bathurst Road with its slab barn to the northwest. The site is enhanced with a mature garden, including fruit trees to the rear of the site.	House and barn	
	Potential Significance (if unlisted)	
	State	Local
Myrtle Cottage is a single storey cottage with a medium pitched hipped roof and a skillion verandah on the east side. A skillion at the rear (west) provides additional accommodation. A gabled wing has been added to the north side of the cottage, probably in the early C20th. The cottage has a corrugated steel roof and is clad with beaded weatherboards. Rusticated weatherboards have been used on the gabled addition.		None
The verandah has square posts with a tapered chamfer and curved brackets meeting between the posts to give a gentle arched effect. The windows of the original cottage are 6 over 6 pane double hung sashes. The front door is centrally placed on the east elevation.		
The slab barn is a gabled two storey barn on a north-south axis. The gable ends are clad in splayed weatherboards. The roof extends		

to provide additional storage space on the western side. The gabled wing has a venetian window with a shingled awning over.	Integrity	High
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Impact of Proposed Works No identified impacts	Statement of Significance (Local) Myrtle Cottage is a good example of a late Victorian farmer's cottage. With its slab barn it contributes to the nineteenth century character of Pitt Town and provides evidence of the development of farming activity in the town.
Reference Hubert Architects, Heritage Futures and Terry Kass in Association, 'Hawkesbury Heritage Review', 2001	Requirements None

Photographs and Plans



No. 126 Bathurst St, Pitt Town. View is to west.



No. 126 Bathurst St, Pitt Town, Lot 1, DP 999548. Source: Sixviewer © NSW Department of Lands

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Windsor Bridge Options Analysis		
Inventory Number: 065		
Item	Listings	
Cottages, slab barn and garage	Register of the National Estate	
Location	NSW State Heritage Register	
132-134 Bathurst Street, Pitt Town, NSW 2756	National Trust	
Lots 1 & 2 DP 1000076	Hawkesbury LEP 1989	285
	Other	
Description	Present Use	
<p>132-134 Bathurst Street is the site of two nineteenth century cottages and two slab barns. The most prominent cottage is a weatherboard cottage probably built around 1890 located close to the street frontage of 132 Bathurst Street. An earlier slab cottage is located to the north. Further north, on 134 Bathurst Street is a two storey gabled slab barn. A corrugated steel garage is located on the street boundary between the weatherboard cottage and the slab barn. Some post and rail fencing remains on the street boundary of 134 Bathurst Street.</p> <p>The slab cottage is a simple hipped roof cottage of vertical slabs with a corrugated steel roof. It has a symmetrical eastern front with a central door flanked by 6 over 6 pane double hung windows.</p> <p>The weatherboard cottage is a late Victorian cottage with a bullnose verandah on the eastern (Bathurst Street) front and a rear skillion. The cottage is clad with beaded weatherboards to the eastern front and splayed weatherboards to the sides. The roof is corrugated steel.</p> <p>The house has a symmetrical front with 6 over 6 pane double hung windows flanking the central 4 panelled door.</p> <p>The verandah is supported on stop chamfered posts with a beaded plate.</p> <p>The slab barn is a two storey gabled barn on a north-south axis.</p>	House and barns	
	Potential Significance (if unlisted)	
	State	Local None
	Integrity	High

<p>The roof is extended on the west side to provide additional storage space. The roof is of corrugated steel.</p> <p>Graham Edds has described the barn as utilising unique structural techniques, slotting the vertical slabs into a grooved beam at the top of the walls.</p> <p>Garage</p> <p>The garage is gabled and clad with corrugated steel. Metal doors open directly to the street boundary.</p>		
<p>Impact of Proposed Works</p> <p>No identified impacts</p>	<p>Statement of Significance (Local)</p> <p>The building group at 132-134 Bathurst Street are an important group reflecting the layers of development of successive farm buildings of a small Pitt Town farm over an extensive period, beginning with the slab cottage, then the associated barn, a better quality cottage and the later garage.</p> <p>As a group and with the surviving post and rail fencing, these buildings are important in contributing to the semi-rural character of the town.</p> <p>The slab cottage is an important surviving example of the vernacular slab construction applied to a domestic building. The associated slab barn is a continuum of this construction and has its own significance for its unique structural system.</p> <p>The weatherboard cottage is also of individual significance as a surviving late Victorian farmer's cottage.</p> <p>The slab barn is of exceptional significance for its unique structural system using a grooved top beam to house the ends of the vertical slabs.</p>	
<p>Reference</p> <p>Hubert Architects, Heritage Futures and Terry Kass in Association, 'Hawkesbury Heritage Review', 2001</p>	<p>Requirements</p> <p>None</p>	

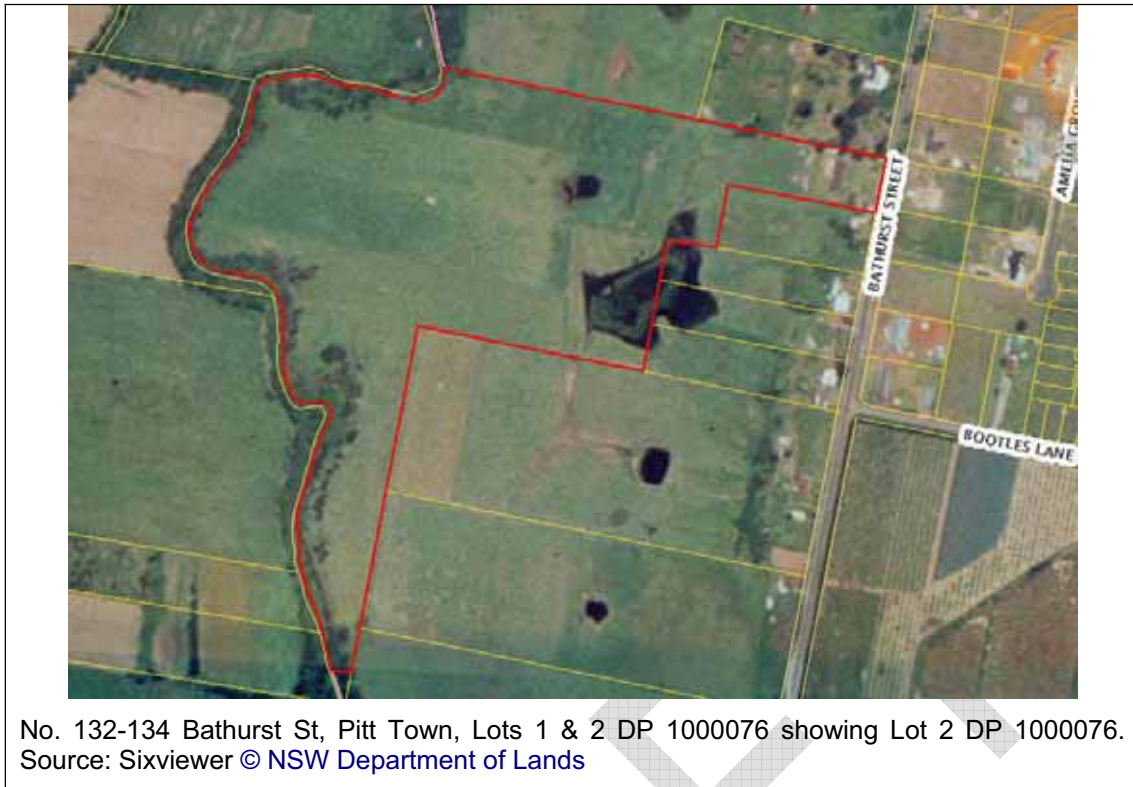
Photographs and Plans



No. 132-134 Bathurst St, Pitt Town. View is to southwest.



No. 132-134 Bathurst St, Pitt Town, Lot 1 & 2 DP 1000076 showing Lot 1 DP 1000076 above.
Source: Sixviewer © [NSW Department of Lands](#)



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Windsor Bridge Options Analysis		
Inventory Number: 066		
Item	Listings	
Cottage	Register of the National Estate	
Location	NSW State Heritage Register	
22 Bathurst Street, Pitt Town, NSW 2756	National Trust	
Lot 1 DP 986055	Hawkesbury LEP 1989	277
	Other	
Description	Present Use	
The cottage at 22 Bathurst Road, Pitt Town is a single storey hipped roof cottage of the mid Victorian period. It has a hipped roof and a verandah on the northeast (Bathurst Road) side. There is a brick chimney on the northwest side of the house. A chimney in the rear yard suggests an earlier kitchen wing.	Residence	
The verandah has a convex curved roof, hipped at the ends. The verandah roof is supported on stop chamfered posts.	Potential Significance (if unlisted)	
The roof is corrugated steel with narrow eaves.	State	Local
The walls of the house are clad in beaded weatherboards, sheeted over on most sides with fibro. 6 over 6 pane double hung windows flank the central front door.	None	
The verandah flooring has been removed, revealing the construction of adzed hardwood bearers laid directly on the ground.	Integrity	Low to medium
Impact of Proposed Works	Statement of Significance (Local)	
No identified impacts	The cottage at 22 Bathurst Road, Pitt Town is an important mid-Victorian cottage. Close to the southern entry to the town it helps to establish the nineteenth century character of the village.	
	The cottage has some research potential, revealing early vernacular systems of construction.	
Reference	Requirements	
Hubert Architects, Heritage Futures and Terry Kass in Association, 'Hawkesbury Heritage Review',	None	

2001	
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Photographs and Plans



No. 22 Bathurst St, Pitt Town. View is to southwest.



No. 22 Bathurst St, Pitt Town, Lot 1 DP 986055. Source: Sixviewer © NSW Department of Lands

Windsor Bridge Options Analysis		
Inventory Number: 067		
Item	Listings	
Slab Barn	Register of the National Estate	
Location	NSW State Heritage Register	
142 Bathurst Street, Pitt Town, NSW 2756	National Trust	
Lot 2602 DP 1003585	Hawkesbury LEP 1989	288
	Other	
Description	Present Use	
Slab barn with corrugated iron gabled roof. Set back from the road within a paddock. Sections of the slab structure sheeted in corrugated iron	Store	
	Potential Significance (if unlisted)	
	State	Local <input checked="" type="checkbox"/> None
	Integrity	Low
Impact of Proposed Works	Statement Significance (Local)	
No identified impacts	One of a number of extant slab barns in the area that collectively demonstrate the nineteenth century rural origins of the village.	
Reference	Requirements	
-	None	

Photographs and Plans



No. 142 Bathurst St, Pitt Town. View is to northwest.



No. 142 Bathurst St, Pitt Town, Lot 2602 DP 1003585. Source: Sixviewer © NSW Department of Lands

Windsor Bridge Options Analysis		
Inventory Number: 068		
Item	Listings	
Residence	Register of the National Estate	
Location	NSW State Heritage Register	
144 Bathurst Street, Pitt Town, NSW 2756	National Trust	
Lot A DP 101875	Hawkesbury LEP 1989	
	Other	
Description	Present Use	
Late nineteenth century weatherboard cottage with a hipped corrugated iron roof and later gable roof addition on the north side. Front veranda with coved (concave) corrugated iron roof. Windows and doors may have been altered and require further investigation. Sited on the hill rising to the Pitt Town plateau, it is one of a number of like rural houses set along the road.		
	Potential Significance (if unlisted)	
	State	Local <input checked="" type="checkbox"/> None
	Integrity	Medium
Impact of Proposed Works	Statement Significance (Local)	
No identified impacts	The cottage at 144 Bathurst Road, Pitt Town is a representative late-Victorian cottage. Set close to the northern entry to the village, it and other neighbouring buildings, help to establish the nineteenth century rural character of the village.	
Reference	Requirements	
	None	

Photographs and Plans



No 144 Bathurst St, Pitt Town. View is to west.



No 144 Bathurst St, Pitt Town, Lot A, DP 101875. Source: Sixviewer © NSW Department of Lands

Windsor Bridge Options Analysis		
Inventory Number: 069		
Item	Listings	
The Manse Farm	Register of the National Estate	3125
Location	NSW State Heritage Register	
1 Punt Road, Pitt Town, NSW 2756	National Trust	8867
Lot 101 DP 635129	Hawkesbury LEP 1989	310
	Other	
Description	Present Use	
<p>"The manse farm is a substantial single storey Colonial Georgian homestead set well back from Punt Road. It has a 'M' form hipped roof with an encircling verandah, broken back to the main roof. The house is built of face brick and the verandah is supported on timber posts. The house has a small attic.</p> <p>The front door is centred on the east (Punt Road) elevation and is flanked by French doors with margined glazing,</p>	House and farm	
	Potential Significance (if unlisted)	
	State	Local
	None	
	Integrity	Reasonable - original rear wing has been demolished
Impact of Proposed Works	Statement of Significance (Local)	
Potentially affected by Route Option 8 as the route crossed the site to the west of the house.	<p>The Manse Farm is of high historical significance as the manse for the Presbyterian church at Ebenezer from 1826 to 1867. The location of the manse at a distance from the church is unusual and is evidence of the importance of the Hawkesbury River for a transport route in the early days of the colony. It continued to be associated with the church until its sale in 1960.</p> <p>The Manse Farm is significant as a surviving and reasonably intact Colonial homestead which survives in its farm setting.</p> <p>The site is also of interest for its association with the former punt, evidence of which remains</p> <p>Although the original rear wing has been demolished, there is potential to find further evidence of that part of the building.</p>	
Reference	Requirements	
Hubert Architects, Heritage Futures and Terry Kass in Association, 'Hawkesbury Heritage Review', 2001	<p>S140 - Management of relics</p> <p>Notification to Council - Impact - ISEPP 2007</p>	

Photographs and Plans



No 1 Punt Road, Pitt Town. View is to west.



No 1 Punt Road, Pitt Town, Lot 101, DP 635129. Source: Sixviewer © NSW Department of Lands

Windsor Bridge Options Analysis		
Inventory Number: 070		
Item	Listings	
Contact Site	Register of the National Estate	
Location	NSW State Heritage Register	
571 Pitt Town Bottom Road (approximate address). Pitt Town Bottoms Road (signage).	National Trust	
Junction of Bardenarang Creek with Hawkesbury River south to mouth of South Creek (association). Lot 1 DP 770002	Hawkesbury LEP 1989	
	Other	
Description	Present Use	
Interpretative signage identifies this as the area where Governor Phillip and his party made contact with local Aboriginal men in May 1791.	Farm land	
	Potential Significance (if unlisted)	
	State ✓	Local ✓ None
	Integrity	Not applicable
Impact of Proposed Works	Statement of Significance (Local)	
Potentially affected by Route Option 8 as it crosses the course of Bardenarang Creek.	Important historical association as an identified contact site between the English settlers and the indigenous land holders	
Reference	Requirements	
Hawkesbury Council information signage on site	S140 - Management of relics	

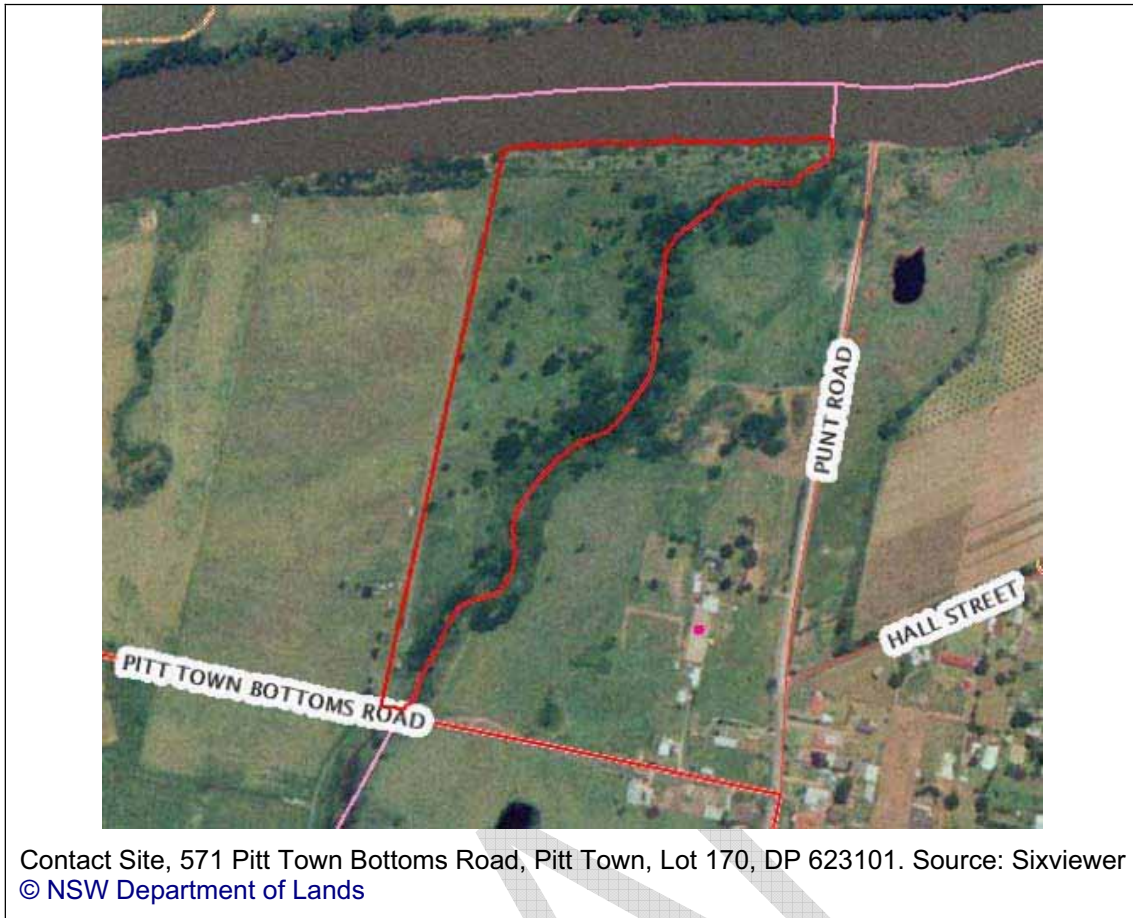
Photographs and Plans



Contact Site, 571 Pitt Town Bottoms Road, Pitt Town. Memorial plaque



Contact Site, 571 Pitt Town Bottoms Road, Pitt Town. Memorial plaque and setting.



Contact Site, 571 Pitt Town Bottoms Road, Pitt Town, Lot 170, DP 623101. Source: Sixviewer
© NSW Department of Lands

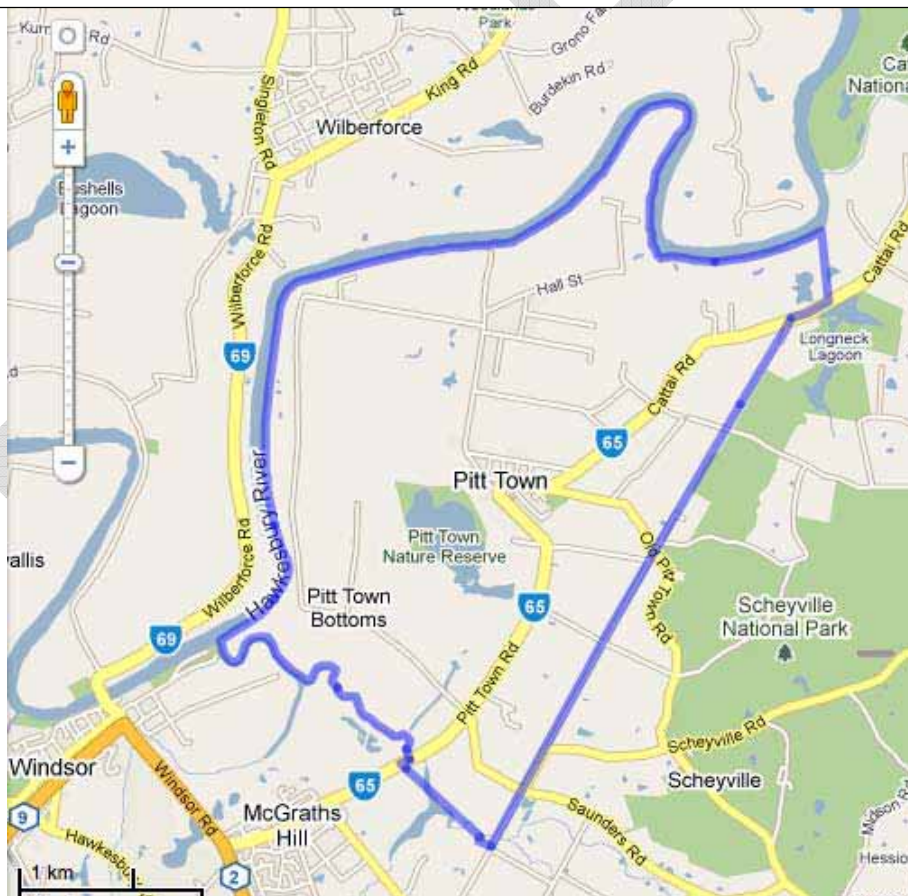
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Windsor Bridge Options Analysis			
Inventory Number: 071			
Item	Listings		
Pitt Town District Cultural Precinct	Register of the National Estate		
Location	NSW State Heritage Register		
Pitt Town Rd, Pitt Town, NSW.	National Trust		
See attached title description.	Hawkesbury LEP 1989		
	Other –Nomination - National Heritage List	105809	
Description	Present Use		
Low lying river terrace farmland with remnant slab barns and cultural and surviving indigenous vegetation. The area retains important visual connections with the escarpment to the east. Some of the farm boundaries are still defined by the 1790s land grants. The area has been nominated for listing as a cultural landscape of State heritage value.	Farmland		
	Potential Significance (if unlisted)		
	State X	Local	None
	Integrity	High	
Impact of Proposed Works	Statement Significance (State)		
Affected by Route Option 8 as the route crosses the river in the area of one of the 1790s land grants and is located within any future curtilage that is defined to protect the identified cultural values.	Pitt Town Bottoms Cultural Landscape retains remnant slab barns, cultural and surviving indigenous vegetation and visual connections to Pitt Town village that demonstrate associations with the settlers of 1794 and the Macquarie townships of the 1810s.		
Reference	Requirements		
Morris, C. and G. Britton, 'Colonial Landscapes and the Cumberland Plain and Camden, NSW: A Survey of selected pre-1860 Cultural Landscapes from Wollondilly to Hawkesbury LGAs,' Draft report to National Trust of Australia (NSW), August 2000	Site nominated for the National Heritage List; consultation with the Department of Environment Water Heritage and the Arts should be undertaken to ascertain the necessity for referral of a nominated item under the EPBC Act 1999.		

Photographs and Plans



Pitt Town District Cultural Precinct. Typical view of farmland to west of Pitt Town Road.



Pitt Town District Cultural Precinct. This shows the nominated boundary and is unlikely to be the final boundary for the site. (Source: Google Maps with Lot information derived from Sixviewer © NSW Department of Lands.)

Nominated boundary:

Approximately 1680 ha, 1 km south east of Wilberforce and 2 km north east of Windsor, being an area commencing at the intersection of the north bank of McKenzies Creek with the eastern side of Pitt Town Road (approximate AMG point 00547901), then south westerly via that side of Pitt Town Road to the most westerly corner of Lot 3 Plan 875421, then south easterly via the southern boundaries of Lot 3 Plan 875421 and Lot 12 Plan 590633 to the western side of Old Stock Route Road (approximate AMG point 01277827), then north easterly via that side of Old Stock Route Road and the western boundary of the cemetery to a corner on the western boundary of Scheyville National Park (approximate AMG point 02988141), then north easterly via the western boundary of Scheyville National Park to a corner on that boundary at approximate AMG point 03638251, then north easterly via the south western alignment of the western side of Old Stock Route Road and the western side of Old Stock Route Road to the intersection with the northern side of Cattai Road (approximate AMG point 03838295), then north easterly via that side of Cattai Road to the south eastern corner of Lot 1 Plan 783613, then northerly via the eastern boundary of Lot 1 Plan 783613 to the southern side of Hawkesbury River, then upstream via that side of Hawkesbury River to the intersection with the northern side of South Creek (approximate AMG point 98878005), then south easterly via the northern sides of South Creek and McKenzies Creek to the point of commencement.

Proposed boundary:

About 350ha, 1km west of Pitt Town, comprising the following Lots that were part of the Hawkesbury Land Grants 1794: Lots 1, 2, 6, 7, 8, 9, 10, 12, 13, 15, 16, 17, 19, 20, 22, 23, 25, 27, 28, 32, 33, 35 and 62.

(Source: National Heritage List Nomination

Place ID: 105809

Place File No: 1/14/040/0129

Sourced from the Australian Heritage Database)

Windsor Bridge Options Analysis		
Inventory Number: 072		
Item Bligh House	Listings	
	Register of the National Estate	
Location 14 Hall Street, Pitt Town, NSW 2756 Lot 11 DP 997997	NSW State Heritage Register	
	National Trust	
	Hawkesbury LEP 1989	297
	Other	
Description Bligh House is an attractive Victorian Italianate house facing north to take in views across the former Bligh Farm towards Wilberforce. The house has a hipped roof with a projecting gable on the left side of the north elevation. A bullnose verandah runs across the remainder of the north elevation. The roof of the house is corrugated steel and the walls are rendered. A chamfered bay with a steeply pitched ripple iron roof fills the gable front. The windows in the bay are double hung in three centred arched openings. The springing point for the arch is marked with a continuous moulding and the arches have rendered keystones. The moulded sill runs around the bay and there are rendered panels below. The gable itself is embellished with dentilated barge boards. The front door has a toplight and a dentilated transom.	Present Use House	
	Potential Significance (if unlisted)	
	State	Local None
	Integrity	High
Impact of Proposed Works Located in the vicinity of Route Option 8	Statement of Significance (Local) Bligh House is an attractive and fairly intact example of a Victorian Italianate House. Among its features are the fine detailing of the gabled front with its protruding bay. The house is well sited to enjoy views across the former Bligh farm and is a prominent element in the streetscape.	
Reference Hubert Architects, Heritage Futures and Terry Kass in Association, 'Hawkesbury Heritage Review', 2001	Requirements None	

Photographs and Plans



14 Hall Street, Pitt Town. View is to south.



14 Hall Street, Pitt Town, Lot 11 DP 997997. Source: Sixviewer © NSW Department of Lands

Windsor Bridge Options Analysis		
Inventory Number: 073		
Item	Listings	
Former Blighton or Model Farm (archaeological site)	Register of the National Estate	
Location	NSW State Heritage Register	
1 Hall Street – includes Lots 11-18 in DPs 1021340 and 1144032 being land east of Punt Road and north of Hall Street	National Trust	
	Hawkesbury LEP 1989	
	Other	
Description	Present Use	
Cleared grazing land with indications of possible past sand mining operation. Land to the south of Hall Street has a number of oak trees that are historically associated with the site.	Grazing	
	Potential Significance (if unlisted)	
	State ✓	Local ✓ None
	Integrity	Low
Impact of Proposed Works	Statement Significance (Local)	
Potentially affected by Route Option 8 as the road route incorporates Punt Road which is located immediately to the west of the site.	Important historic associations with an early (ca.1806) farm development sponsored by Governor Bligh with potential for recovery of relics by archaeological excavation.	
Reference	Requirements	
Graham Brooks and Associates Pty Ltd, 'Pitt Town, Local Environment Study: Cultural Heritage Component Review,' undated (2002)	S140 if impacted – management of relics	

Photographs and Plans



Blighton Farm, Pitt Town. View is to north.



Blighton Farm, Pitt Town, Lots 11-18 in DPs 1021340 and 1144032. Source: Sixviewer for lot information and Google maps for image.

Windsor Bridge Options Analysis			
Inventory Number: 074			
Item "Bridgeview" residence	Listings		
	Register of the National Estate		
Location 27 Wilberforce Road, Freemans Reach, NSW 2756 Lot A DP 370895	NSW State Heritage Register		
	National Trust		
	Hawkesbury LEP 1989		274
	Other		
Description This is a substantial Federation house overlooking the Windsor Bridge. The house is single storey with a hipped roof and ventilation gablets. A verandah runs around the west, east and south sides of the house. A gable breaks through the verandah to mark the central entry on the Wilberforce Rd (south) front. The house has brick chimneys with dentilated corbels and terracotta pots. The site is enclosed on the street boundaries by a formal hedge. The house is of brick construction and roofed in corrugated steel. The verandah has straight timber posts with fretwork brackets and a balustrade of variable width timber slats with fretwork designs. The front door has 2 glass panels, 2 pane sidelights and a toplight.	Present Use House		
	Potential Significance (if unlisted)		
	State	Local	None
	Integrity	High	
Impact of Proposed Works No identified impacts	Statement of Significance (Local) 27 Wilberforce Road is a substantial late Federation house. Located on a prominent corner and overlooking the bridge, it is an important element in the streetscape.		
Reference	Requirements None		

Photographs and Plans



No 27 Wilberforce Rd, Freemans Reach. View is to north.



No. 27 Wilberforce Rd, Freemans Reach. Lot A, DP 370895. Source: Sixviewer © [NSW Department of Lands](#)

Windsor Bridge Options Analysis		
Inventory Number: 075		
Item Farm	Listings	
	Register of the National Estate	
Location 87 Wilberforce Rd, Freemans Reach, NSW 2756 Lot 616 DP 863291	NSW State Heritage Register	
	National Trust	
	Hawkesbury LEP 1989	275
	Other	
Description Old farm building. Constructed of corrugated galvanised iron and set back from the road, it has a gabled roof with skillion roofed additions to either side.	Present Use Farm	
	Potential Significance (if unlisted)	
	State	Local <input checked="" type="checkbox"/> None
	Integrity	Low
Impact of Proposed Works No identified impacts	Statement Significance (Local) Contributes to the character of the area and is representative of the old farm buildings that dot this part of Freemans Reach.	
Reference -	Requirements None	

Photographs and Plans



No. 87 Wilberforce Rd, Freemans Reach. View is to the south.



No. 87 Wilberforce Rd, Freemans Reach, Lot 616 DP 863291. Source: Sixviewer © NSW Department of Lands

Windsor Bridge Options Analysis Inventory Number: 076		
Item House – “Lynwood”	Listings	
	Register of the National Estate	
Location 253 Pitt Town Rd, Pitt Town, NSW 2756 Lot 3 DP 54695	NSW State Heritage Register	
	National Trust	
	Hawkesbury LEP 1989	303
	Other	
Description Lynwood is a substantial two storey Colonial homestead set between the lower flood plain of Pitt Town Bottoms and the slightly higher road level of Pitt Town Bottoms Road. It is well sited to take in views over Pitt Town Bottoms and the Blue Mountains. The house is a substantial two storey building with a hipped corrugated steel roof, tall chimneys and rendered walls. A verandah on the east side of the house has been infilled. This house has been left to deteriorate for some years following a fire. Most of the joinery appears to have been removed.	Present Use Ruined house	
	Potential Significance (if unlisted)	
	State	Local None
	Integrity	Poor
Impact of Proposed Works No identified impacts	Statement of Significance (Local) Lynwood has historical significance as one of the earliest surviving houses in the Pitt Town area. It has a long association with John McDonald who operated a horse mill, possibly on this property and after who the McDonald River was named. Lynwood has aesthetic significance as a surviving late Colonial homestead. Its setting on the higher parts of the Pitt Town Bottoms floodplain is unique for a substantial home in the area and makes it a local landmark. There is archaeological potential on this site, and more research is needed particularly regarding McDonald's horse mill.	
Reference Hubert Architects, Heritage Futures and Terry Kass in Association, 'Hawkesbury Heritage Review', 2001	Requirements None	

Photographs and Plans



No. 253 Pitt Town Rd, Pitt Town. View is to northwest.



No. 253 Pitt Town Rd, Pitt Town, Lot 3, DP 54695. Source: Sixviewer © NSW Department of Lands

Windsor Bridge Options Analysis		
Inventory Number: 077		
Item	Listings	
Farm complex – “Bona Vista”	Register of the National Estate	
Location	NSW State Heritage Register	
11 Amelia Street, Pitt Town, NSW 2756	National Trust	
Lot 131 Plan No 1025876	Hawkesbury LEP 1989	286
(LEP states that it is on Lot 7 DP 979541 – this Lot is not on Sixviewer and does not appear to exist.)	Other	
Description	Present Use	
<p>Bona Vista is possibly the most important farm group in the Pitt Town area. It comprises a substantial homestead set well back from the street five slab sheds to the rear (south) and west of the homestead. Citrus trees are to the northwest of the homestead. The homestead itself has a garden of mature trees. Some timber post and rail fencing survives on the Johnston Street boundary. Similar fencing survives on Bootles Lane boundary.</p> <p>The homestead is a substantial late Victorian sandstone building with a main block facing north and a kitchen wing on the western end of the rear side. The main wing has a hipped slate roof with lead flashings. It has an ogee roofed verandah to the north east and south supported on cast iron posts and has a cast iron valance. There are three sandstone chimneys with moulded corbels and tall glazed pots.</p> <p>The kitchen block is hip roofed with corrugated steel roofing. It has a single chimney with an arched cowl. Other buildings in the group include:</p> <p>Slab Barn A Corn Shed (Slab Barn B) Stables (Slab Barn C) Slab Barn D Slab Barn E</p>	Potential Significance (if unlisted)	
	State	Local None
	Integrity	High

<p>Impact of Proposed Works</p> <p>No identified impacts</p>	<p>Statement of Significance (Local)</p> <p>Bona Vista is of high historical significance as a substantial Victorian farm group which survives with its slab outbuildings. It is highly evocative of the nineteenth century character of the higher lands around Pitt Town which were often used for orcharding. The main homestead of Bona Vista is an important Victorian filigree residence. It is probably the most substantial homestead in the immediate Pitt Town area and is a well built residence featuring a broad ogee roofed verandah, fine slate roofing and sandstone walls. The surviving corn shed is important for its unusual construction, unique in Australia to the Hawkesbury region. The slab barns are all representative examples of the slab barns which characterise the Pitt Town area.</p>
<p>Reference</p> <p>Hubert Architects, Heritage Futures and Terry Kass in Association, 'Hawkesbury Heritage Review', 2001</p>	<p>Requirements</p> <p>None</p>

Photographs and Plans



No. 11 Amelia Grove, Pitt Town. View is to southeast. (Photo from SHI)



No. 11 Amelia Grove, Pitt Town. View is to south. (Photo from SHI)



No. 11 Amelia Grove, Pitt Town, Lot 131 Plan No 1025876. Source: Sixviewer © NSW Department of Lands

Windsor Bridge Options Analysis		
Inventory Number: 078		
Item "Samuel Cox's House"	Listings	
	Register of the National Estate	
Location 16 Lagoon Road (24 Bathurst St) Pitt Town, NSW 2756 Lot 1 DP 708230 (as per LEP) (LEP states that it is on this Lot but situated at 24 Bathurst St. In effect this Lot is at the rear of 24 Bathurst St.)	NSW State Heritage Register	
	National Trust	
	Hawkesbury LEP 1989	278
	Other	
Description	Present Use House	
	Potential Significance (if unlisted)	
	State	Local None
	Integrity	High
Impact of Proposed Works No identified impacts	Statement of Significance (Local) Associated with Samuel Cox, the house contributes to the character of the area.	
Reference	Requirements None	

Photographs and Plans

No Photo



16 Lagoon Road, Pitt Town, Lot 1 DP 708230. Source: Sixviewer © NSW Department of Lands

Windsor Bridge Options Analysis Inventory Number: 079		
Item Archaeological Sites near South Creek	Listings	
	Register of the National Estate	
Location Potential archaeological sites are located around/near South Creek Bridge. These are located on both the northeast and southwest sides of Windsor Road on the southeast approach to the bridge, and under and around the bridge itself. Locations include: The road reserve of Windsor Road, Lots 1 and 11-14 DP 656975, Lot 1 DP 583229 (No. 40 Bridge St), Lots 10 & 11 DP 111054 (No. 27 Bridge Street according to Google Maps)	NSW State Heritage Register	
	National Trust	
	Hawkesbury LEP 1989	
	Other	
Description The sites have been identified on historic plans and surveys (mainly Armstrong 1837 & Mackenzie 1842) and include: <ul style="list-style-type: none"> • 3 former bridges in the same location as the existing bridge • another old bridge slightly to the northeast • Road alignment posts and stones • A mile post • Weatherboard buildings • Lath and plaster buildings • Slab buildings • "Killarney Hotel" & outbuildings 	Present Use Farm land	
	Potential Significance (if unlisted)	
	State <input checked="" type="checkbox"/>	Local <input checked="" type="checkbox"/> None
	Integrity	
Impact of Proposed Works Potentially affected by Options 6 and 7.	Statement of Significance (State) Sites may contain information relating to early farm and agricultural development in the region as well as a mile post, alignment stones and posts associated with the construction of Windsor Road. All these sites have potential for recovery of relics by archaeological excavation.	
Reference	Requirements S140 - Management of relics	

Photographs and Plans



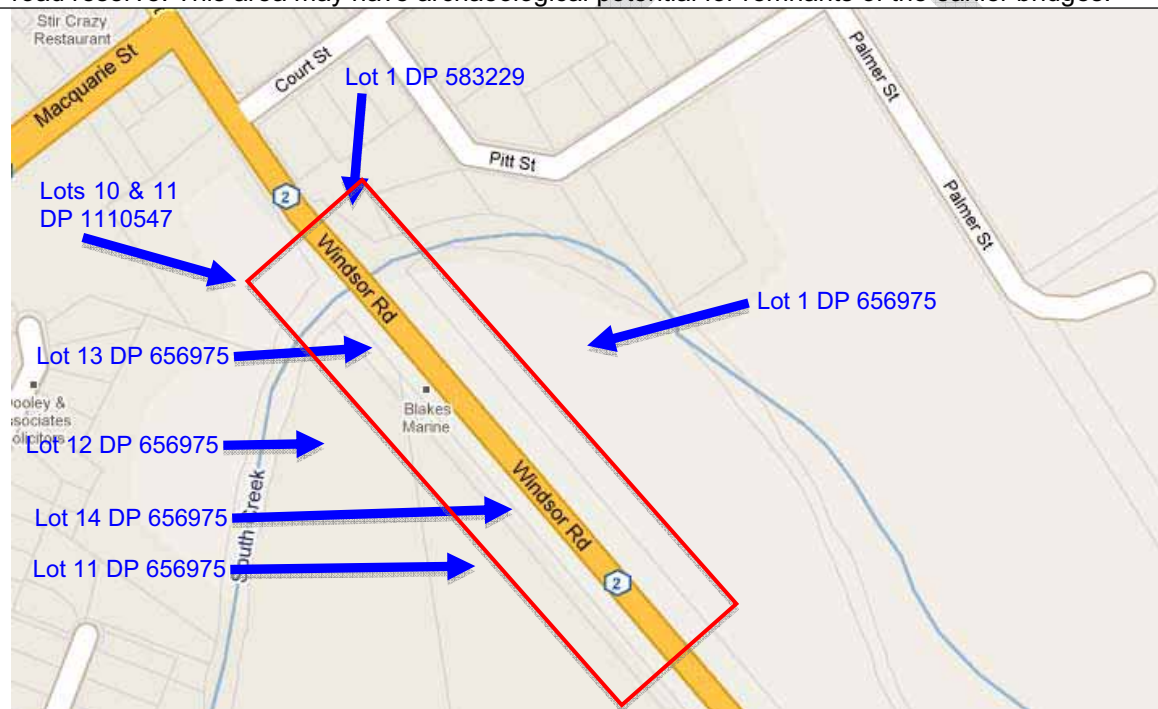
The north-eastern side of Windsor Road on the southern approach to the bridge over South Creek (the road reserve and part of Lot 1 DP 656975 are shown). The general area is a potential archaeological site as recorded by Mackenzie in 1885 but requires targeted research to clarify the location of the potential sites.



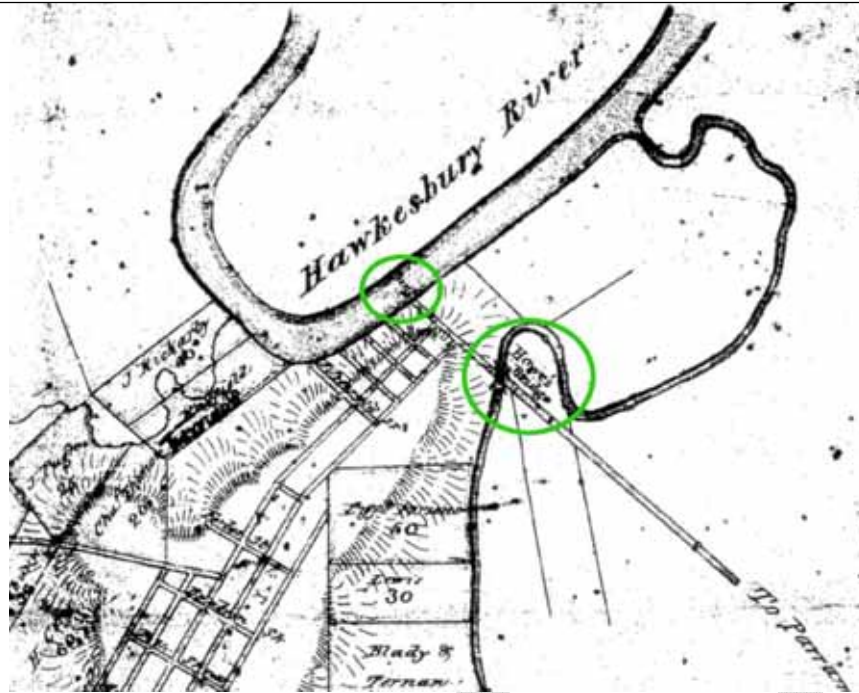
Same location as above but slightly further to the northwest and closer to the bridge over South Creek. (The road reserve and part of Lot 1 DP 656975 shown).



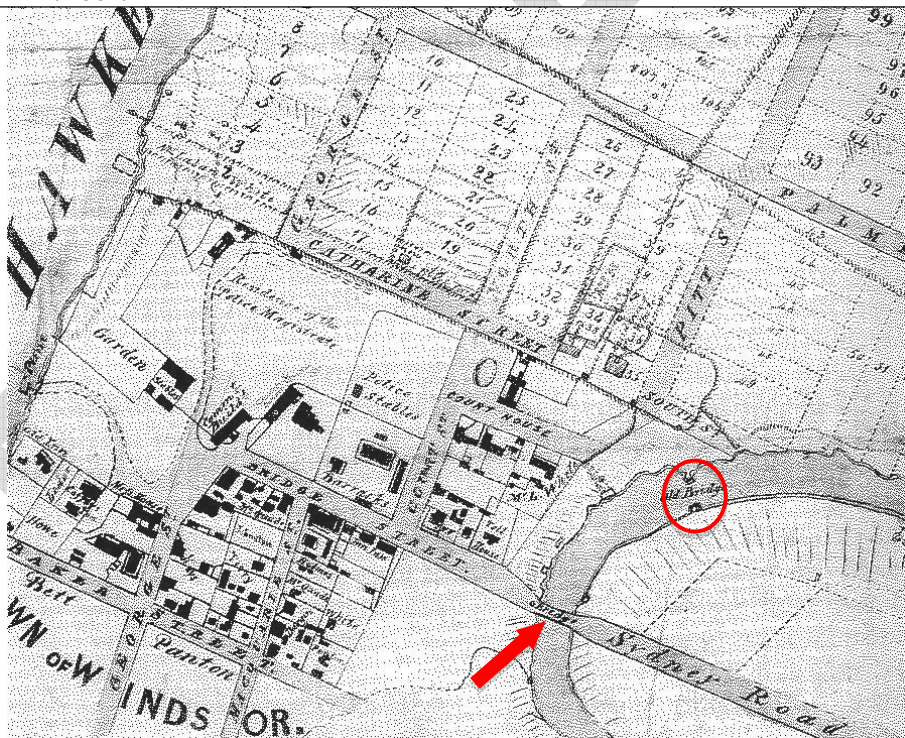
View of riverbank and area under the bridge at South Creek. No Lot or DP – appears to be part of road reserve. This area may have archaeological potential for remnants of the earlier bridges.



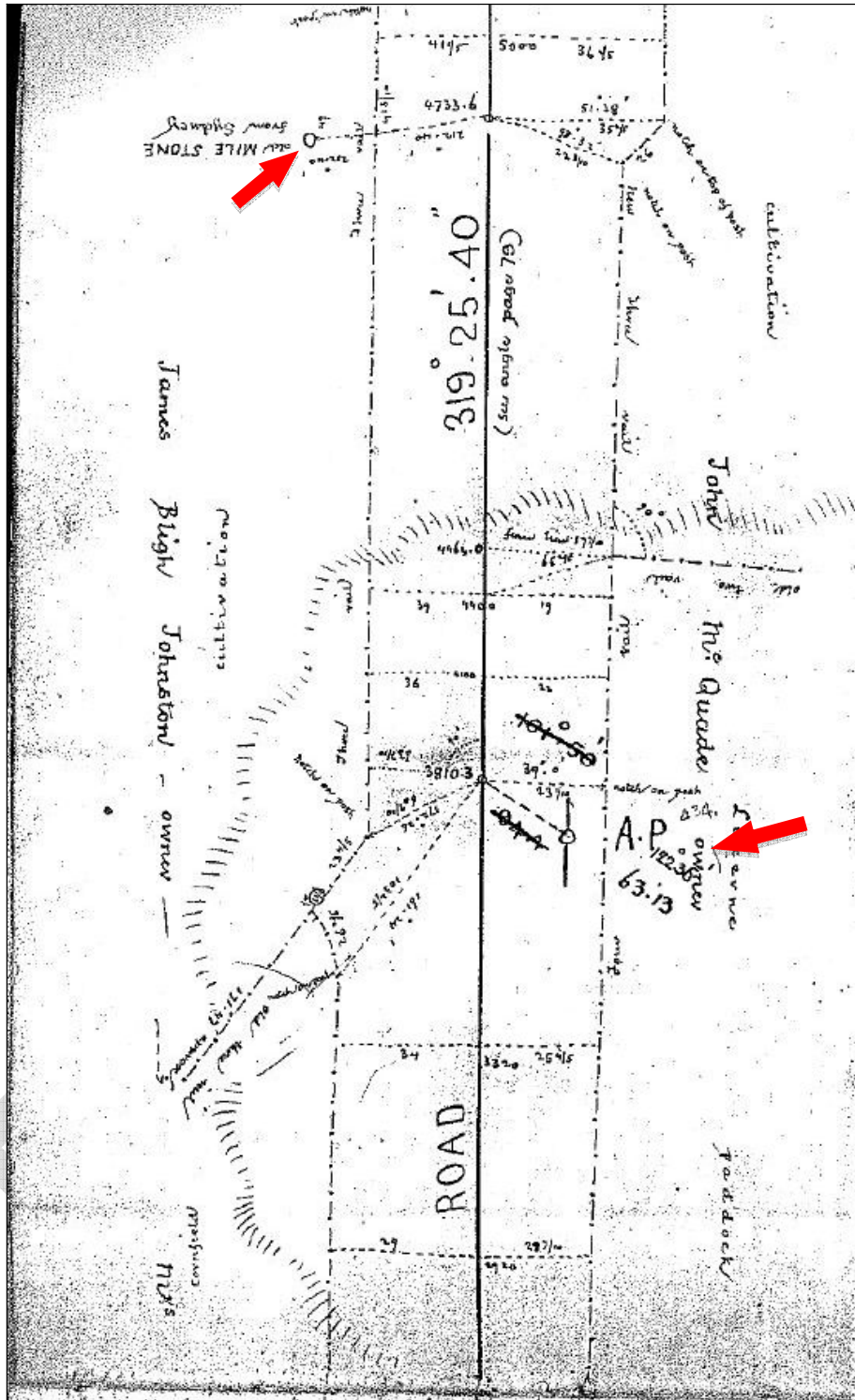
Lot and DP details for allotments that may contain potential archaeological sites in a zone along Windsor Road around South Creek bridge. Source: Google Maps with information sourced from Sixviewer © NSW Department of Lands



John Armstrong's Plan of New and Old Glebe adjoining the Township of Windsor, dated 1837, with the bridge at South Creek and punt at Hawkesbury River circled. Source: Mitchell Library ZM2 811.1122/1837/1.



Armstrong's survey of 1842. This plan indicates that an earlier bridge over South Creek narrowed over the water. It also shows the remnants of another "Old Bridge" (circled) a little to the east (up) outside of any areas of impact. Remnants at the location of the existing bridge (Fitzroy Bridge) may survive in the bank.



Example of information about potential archaeological sites. Page 67 of Mackenzie's "Field Book 1" showing the possible location of an "old MILE STONE" and an alignment post "A.P" (both arrowed). These items are within the construction zone for Options 6 and 7. These notebooks contain similar information about potential house, shed and fence sites. Source: Mackenzie Field Book 1; 3106.

Windsor Bridge Options Analysis			
Inventory Number: 080			
Item Punt Wharf Site (remnant landing)	Listings		
	Register of the National Estate		
Location End of Punt Rd, Pitt Town (No Lot or DP number as the site appears to be located on part of the road or river reserve)	NSW State Heritage Register		
	National Trust		
	Hawkesbury LEP 1989		
	Other		
Description Graded and sealed road terminating at the eastern bank of the river. Built remains comprise timber log guides, and rubble road surface.	Present Use		
	Riverbank		
	Potential Significance (if unlisted)		
	State <input checked="" type="checkbox"/>	Local <input checked="" type="checkbox"/>	None
	Integrity		
Impact of Proposed Works	Statement of Significance (Local)		
No identified direct impacts. The remnants may potentially be indirectly affected should the road be upgraded and the level of traffic increase under Option 8.	The punt wharf site may provide evidence and information about the early river crossing in this area. The service was introduced in the early-nineteenth century and continued into the mid-twentieth century.		
Reference Graham Brooks and Associates Pty Ltd, 'Pitt Town, Local Environment Study: Cultural Heritage Component Review,' undated (2002)	Requirements None. (S140 - Management of relics would be required if impacts may occur)		

Photographs and Plans



Remnants of the punt wharf at the end of Punt Road, Pitt Town. View to the east.



Punt wharf site, Punt Road, Pitt Town. Source: Sixviewer © NSW Department of Lands

Inventory Number: 081		
Item Car Park	Listings	
	Register of the National Estate	
Location No. 26 The Terrace, Windsor, NSW 2756 Lot C DP 413535 and Lot 3 DP 529241	NSW State Heritage Register	
	National Trust	
	Hawkesbury LEP 1989	
	Other	
Description The car park on the corner of Kable Street and The Terrace (26 The Terrace) is the site of Andrew Thompson's brewery dating from around 1806 and is therefore likely to be a significant archaeological site.	Present Use Car Park	
	Potential Significance (if unlisted)	
	State	Local None
	Integrity	High
Impact of Proposed Works The item is in Option 5. Acquisition of this Lot may be required.	Statement Significance Unknown, potentially of state significance.	
Reference Nil	Requirements S140/exception – management of relics	

Photographs and Plans



No. 26 The Terrace, Windsor. View is to south. Kable Street footpath visible on left.



No. 26 The Terrace, Lot C DP 413535 and Lot 3 DP 529241, Windsor. Source: Sixviewer © NSW Department of Lands

Windsor Bridge Options Analysis		
Inventory Number: 082		
Item	Listings	
Car Park (for KFC)	Register of the National Estate	
Location	NSW State Heritage Register	
No. 35 Macquarie Street, Windsor, NSW 2756	National Trust	
Lot 1 DP 633325	Hawkesbury LEP 1989	
	Other	
Description	Present Use	
This site is now a car park for a fast food outlet. Early maps and plans consulted for this report do not indicate any early structures on this site but given its location on the Macquarie Town plan, it is a possibility that requires further investigation.	Car park	
	Potential Significance (if unlisted)	
	State	Local
	None	
	Integrity	
Impact of Proposed Works	Statement Significance (Local)	
The item is partially located in Option 5. Acquisition of this Lot may be required.	Site may have archaeological potential.	
Reference	Requirements	
Nil	Site requires further investigation. S140 Management of relics	

Photographs and Plans



No. 35 Macquarie Street, Windsor. View is to south from corner of lot on Kable Street.



No. 35 Macquarie Street, Windsor, Lot 1 DP 633325. Source: Sixviewer © NSW Department of Lands

Windsor Bridge Options Analysis			
Inventory Number: 083			
Item House	Listings		
	Register of the National Estate		
Location No. 2 Pitt Street, Windsor, NSW 2756 Lot 8 Sec 9 DP 759096	NSW State Heritage Register		
	National Trust		
	Hawkesbury LEP 1989		
	Other		
Description Modern dark brick house with a tiled roof. The house on this site is not of heritage value. The property itself however, may host part of the original Windsor Gaol and hence have archaeological potential.	Present Use		
	House		
	Potential Significance (if unlisted)		
	State	Local	None
	Integrity	High	
Impact of Proposed Works The item is located within the route of Option 7. Part of the Lot may have to be acquired.	Statement Significance (State)		
	Unknown, potentially of state significance for its archaeological values.		
Reference	Requirements		
	S140 – Management of relics.		

Photographs and Plans



No. 2 Pitt St, Windsor. View is to southeast. The Court St frontage is shown. Note the brown tourist sign at centre of picture (arrowed) stating that the site of the gaol is hereabouts.



No. 2 Pitt St, Windsor, Lot 8 Sec 9 DP 759096. Source: Sixviewer © NSW Department of Lands

Windsor Bridge Options Analysis			
Inventory Number: 084			
Item House	Listings		
	Register of the National Estate		
Location No. 42 Court Street, Windsor, NSW 2756 Lot 5 Sec 9 DP 759096	NSW State Heritage Register		
	National Trust		
	Hawkesbury LEP 1989		
	Other		
Description Small post-war fibro house with a terra cotta tile roof. The house on this site is not of heritage value. The property itself however, may host part of the original Windsor Gaol and hence have archaeological potential.	Present Use		
	House		
	Potential Significance (if unlisted)		
	State	Local	None
	Integrity	High	
Impact of Proposed Works The item is located within the route of Option 7. Part of the Lot may have to be acquired.	Statement Significance (State)		
	Unknown, potentially of state significance for its archaeological values.		
Reference	Requirements		
	S140 – Management of relics.		

Photographs and Plans



No. 42 Court St, Windsor. View is to southeast.



No. 42 Court St, Windsor, Lot 5, Sec 9, DP 759096. Source: Sixviewer © NSW Department of Lands

Windsor Bridge Options Analysis			
Inventory Number: 085			
Item House	Listings		
	Register of the National Estate		
Location No. 44 Court Street, Windsor, NSW 2756 Lot 6 Sec 9 DP 759096	NSW State Heritage Register		
	National Trust		
	Hawkesbury LEP 1989		
	Other		
Description Small post-war fibro house with a terra cotta tile roof. The house on this site is not of heritage value. The property itself however, may host part of the original Windsor Gaol and hence have archaeological potential.	Present Use		
	Potential Significance (if unlisted)		
	State	Local	None
	Integrity	High	
Impact of Proposed Works The item is located within the route of Option 7. Part of the Lot may have to be acquired.	Statement Significance (State)		
	Unknown, potentially of state significance for its archaeological values.		
Reference	Requirements S140 – Management of relics.		

Photographs and Plans



No. 44 Court St, Windsor. View is to southeast.



No. 44 Court St, Windsor, Lot 6, Sec 9, DP 759096. Source: Sixviewer © NSW Department of Lands

Windsor Bridge Options Analysis			
Inventory Number: 086			
Item House	Listings		
	Register of the National Estate		
Location No. 46 Court Street, Windsor, NSW 2756 Lot 1 DP 196752	NSW State Heritage Register		
	National Trust		
	Hawkesbury LEP 1989		
	Other		
Description The house on this allotment may have heritage value. It is an interwar period bungalow of dark brick with a terra cotta tiled roof. The property itself too, may host part of the original Windsor Gaol and hence may have archaeological potential.	Present Use		
	House		
	Potential Significance (if unlisted)		
	State	Local	None
	Integrity	High	
Impact of Proposed Works	Statement Significance		
The item is located within the route of Option 7. Part of the Lot may have to be acquired.	The house is likely to be of local significance while the site may have archaeological value of state significance.		
Reference	Requirements		
	House requires assessment.		
	Land - S140 – Management of relics.		

Photographs and Plans



No. 46 Court St, Windsor. View is to southeast.



No. 46 Court St, Windsor, Lot 1, DP 196752. Source: Sixviewer © NSW Department of Lands

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